



VARIANCE & SPECIAL PERMIT APPLICATION

CITY OF WORCESTER ZONING BOARD OF APPEALS

455 Main Street, Room 404; Worcester, MA 01608

Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	3,000	Setback required:		Setback required:	
Square footage provided:	5,491	Setback provided:		Setback provided:	
Relief requested:	0	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



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Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Table with columns: Lot Area, Front Yard Setback, Rear Yard Setback, Frontage, Side Yard Setback, Exterior Side Yard Setback, Off-street Parking/Loading, Height, Accessory Structure 5-foot Setback, Other Variances, Signs. Includes fields for required/provided/relief and a large instruction box at the bottom.



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Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	3,000	Setback required:		Setback required:	
Square footage provided:	2,682	Setback provided:		Setback provided:	
Relief requested:	318	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					

TYPE OF SPECIAL PERMIT (check the Special Permit you are requesting and describe what you are requesting)

1. Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure and/ or Use (Article XVI, Section 4)
2. Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
3. Non-Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
4. Non-Accessory Sign (Article IV, Section 6)
5. Residential Conversion (Article IV, Section 9)
6. Placement of Fill/Earth Excavation (Article IV, Section 5)
7. Modification of Parking/Loading Requirements (Article IV, Section 7)
8. Modification of Landscaping Requirements for Parking/Loading (Article IV, Section 7)
9. Other Special Permit (Describe Special Permit sought):

1. Assessor's **ADDRESS OF SUBJECT PROPERTY:** 61 Progressive Street
(List property subject to the application and include any lot numbers. Please note: The street number may be different than the Assessor's address).

2. Is this property known by any other address: No.

3. **OWNER OF RECORD:** Gold Star Builders., Inc.
(The owner of record is the person or entity who owns title to the property as of today's date)

4. Address (es) of owner of record is /are 6 Jacques Street, Worcester, MA

5. Worcester District Registry of Deeds (WDRD) Book(s) 55447, Page(s) 87
(List Book and Page number of deed filed for the subject property as recorded at the WDRD)

6. City of Worcester Assessor's Office Map 34 Block 012 Lot 00030
(List MBL number for the subject property as listed at Assessor's Office)

7. **NAME OF APPLICANT(S):** Gold Star Builders, Inc.

8. Address of Applicant: 6 Jacques Street, Worcester, MA

9. Telephone: c/o DJO (508) 755-5655

10. Email: c/o djo@oneilbarrister.com

11. Check if you are an: owner (s) , lessee (s) , optionee (s) (If you are not the owner of the subject property and are a lessee or optionee, it is recommended that you provide supporting information such as a lease or a purchase and sale agreement that shows your interest in the property.)

12. Zoning district(s) of the property (Indicate if more than one zoning district and any zoning overlay districts):
RL-7

13. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use):
Existing single family dwelling slated for demolition.

14. The applicant seeks to (Describe what you want to do on the property in as much detail as possible):

Demolish the existing structure on the property and replace it with a three unit single family attached structure with each unit occupying a separate lot.

15. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the Zoning Ordinance which permits the proposed used of the property):

Article IV, Section 2, Table 4.1

16. Are you aware if this property has been previously granted approvals from any City Board or Commission?

If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions):

Unknown.

17. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)? If so, explain:

No.

18. List any additional information relevant to the Variance (s) and Special Permit (s):

Property contains 10,000 square feet of land with 100 feet of frontage on Progressive Street with a ten foot wide Worcester sewer easement running through the lot that can not be built upon.

VARIANCE - FINDINGS OF FACT

In the spaces below, please explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(3) of the Zoning Ordinance. *Attach additional supporting documentation as necessary.*

1. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

A literal enforcement of the provisions of the Zoning Ordinance would involve a substantial hardship for the owner since it would preclude the proposed three unit single family attached structure from being constructed due to the need to provide separate lots for each unit with 3,000 square feet of area. Although the parcel has more than enough area (10,000) and frontage (100) for three units the need to accommodate a City sewer easement dictates unequal lot areas.

2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

In this case the presence of a City sewer easement running through the property precludes the establishment of three equally sized lots although the total area available satisfies the area requirement. The configuration of the parcel in relation to the easement presents a hardship that especially affects this parcel in a manner that does not affect generally other similar sized lots located in RL-7 zones.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The proposed relief may be granted without detriment to the public good nor substantial derogation from the intent of the Zoning Ordinance due to the fact that the property has sufficient area and frontage to meet the density limits imposed by the Zoning Ordinance.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants, or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required for the rational division of the property into three lots to accommodate the three unit single family attached structure proposed.

SPECIAL PERMIT FINDINGS OF FACT

In the spaces below explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(2) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)

1. Social, economic or community needs that are served by the proposal:

Proposal will serve economic and community needs by replacing an older structure in need of repair with a new building housing three units to add to the City's housing stock and will increase the real estate tax revenues generated as a result of the new construction.

2. Traffic flow and safety, including access, parking and loading areas:

No traffic flow and safety issues are presented by the proposal which provides for separate driveway unit access and satisfies the off street parking requirements set forth in the Zoning Ordinance.

3. Adequacy of utilities and other public services:

Existing utilities and other public services are adequate for the proposed use of the property in all respects.

4. Neighborhood character and social structure:

Proposed new construction will enhance neighborhood character and social structure and will expand owner occupied housing options for City residents which should positively impact the surrounding properties.

5. Impacts on the natural environment:

The site in question is already developed so impacts on the natural environment should be minimal.

6. Potential fiscal impact, including city services needed, tax base, and employment:

The proposed housing will increase real estate tax revenues generated from the site and will support construction jobs for City residents and others working in the construction trades with no significant demand being placed on City services.

WHEREFORE, the applicant(s) requests that this Board grant the special permit (s) as requested above.

By: [Signature] ^{AMJ}
(Signature of Applicant or Applicant's Agent)
If more than one applicant, all applicants must fill out information.
Gold Star Builders, Inc

(Name of Applicant)

6 Jacques Street, Worcester, MA

(Address)

c/o DJO (508) 755-5655

(Contact Phone Number)

c/o djo@oneilbarrister.com

(Email)

April 2, 2024

(Date)

By: [Signature] ^{AMJ}
(Signature of Property Owner or Owner's Agent)
If more than one property owner, all owners must fill out information.
Gold Star Builders, Inc.

(Name of Property Owner)

6 Jacques Street, Worcester, MA

(Address)

c/o DJO (508) 755-5655

(Contact Phone Number)

c/o djo@oneilbarrister.com

(Email)

April 2, 2024

(Date)

SUPPLEMENTARY QUESTIONS FOR SPECIAL PERMITS ONLY

Complete the requested information for the Special Permit requested. Attach additional documentation as necessary. Only complete the sections which pertain to the Special Permit (s) you are applying for.

**Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure
(Article XVI, Section 4)**

1. Describe what is currently nonconforming about this structure (list specific dimensional nonconformities)

2. Indicate how long the nonconforming aspects of the structure have been in existence:

3. At the time of construction, did the structure meet applicable zoning requirements? (Check with the zoning ordinance, as amended, that would have been in effect at the time of construction. Past zoning ordinances are available for research at the City Clerk's office. Past zoning maps are available at the Division of Planning and Regulatory Services)

4. Describe the proposed extension, alteration or change and the total square footage of any physical expansion:

**Residential Use allowed only by Special Permit in a particular zoning district
(Article IV, Section 2, Table 4.1)**

1. Describe the proposed residential use:

Applicant proposes to construct a three unit single family attached building.

2. Total number of dwelling units proposed, number of bedrooms per unit, and square footage of units:

Three dwelling units proposed, with three bedroom each. See plans filed herewith for square footage.

3. Number and dimensions of off-street parking spaces to be provided and location (garage, driveway). Off-street parking spaces must be located outside of the front yard and exterior side yard setbacks.

Two off street parking spaces proposed for each unit in full compliance with off street parking regulations. See plans filed here with for further detail.

**Non-Residential Use allowed only by Special Permit
(Article IV, Section 2, Table 4.1)**

1. Describe the proposed use (include description of business, proposed hours of operation, and number of employees)

2. Total square footage of proposed use:

3. Number of off-street parking spaces to be provided. Indicate location of those parking spaces: garage, parking lot, parking spaces on a different lot provided through the same ownership and/or leased spaces (a 5-year minimum lease with renewal options must be provided) within 1,000 feet of the use it will serve.

4. For a proposed animal hospital, animal clinic, pet shop or animal shelter, per Article IV, Section 2, Notes to Table 4.1, Note 4, indicate the location of any animal runs if a residential zoning district is within 200 feet of the subject property.

5. For a proposed Bed and Breakfast use, provide additional documentation per Article IV, Section 11.

8. For a proposed Adult Entertainment use, provide additional documentation per Article IV, Section 10.

9. For a proposed Limited Residential Hospice House, provide additional documentation per Article IV, Section 2, Notes to Table 4.1, Note 10.

**Placement of Fill/Earth Excavation
(Article IV, Section 5)**

1. Indicate whether the Special Permit is for Placement of Fill or Earth Excavation:
2. Attach documentation showing proposed measures to protect pedestrians and vehicles.
3. Provide a proposed timeline for completion of placement of fill.
4. Attach documentation from the Director of Public Health and the Conservation Commission as outlined in the City of Worcester Zoning Ordinance Article IV, Section 5.
5. Attach a site plan with all required information in support of the application per the City of Worcester Zoning Ordinance Article IV, Section 5.

**Modification of Parking/Loading Requirements
(Article IV, Section 7)**

1. Indicate what relief is being sought under the Special Permit:
Applicant seeks relief to exceed the 50% maximum front yard impervious coverage area for Lot B only.
2. If applicable, indicate locations, square footages, and dimensions of relief sought under the Special Permit:
Total impervious area within the the front yard area for Lot B is 59%. Coverage for Lot A is 22% and Lot C 42%. Average coverage for all three lots is 41%
2. If applicable, provide number of parking/loading spaces required and relief requested through the Special Permit:

Other Special Permits

1. Describe Special Permit sought and provide relevant details on the plan of land and rendering. Provide square footage and height of any structures and indicate percentage of lot structure will occupy:



Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 48

Parcel Address: 61 PROGRESSIVE STREET
Assessor's Map-Block-Lot(s): 34-012-00030

Owner: GOLD STAR BUILDERS INC

Owner Mailing: 6 JACQUES ST
WORCESTER, MA 01603

Petitioner (if other than owner): NICK KELLING
Petitioner Mailing Address: 249 SOUTH STREET
PLAINVILLE, MA
Petitioner Phone: 508-695-2221

Planning: X Zoning: X License Commission: _____ Conservation Commission: _____
Historical: _____ Cannabis: _____ Other: _____

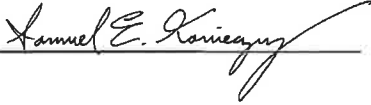
34-012-000B1	CHAO WENCHUN + BO LIU	444 WALNUT ST	SHREWSBURY MA 01545
34-012-0B1-2	SARTY CYNTHIA	057A PROGRESSIVE ST	WORCESTER MA 01604
34-012-0006A	POULOS BRUCE J + CHARLENE M	0033 COUNTY ST	WORCESTER MA 01604
34-012-14A2L	MOHIUDDIN MOHAMMED Y +	0001 KELLEHER ST	WORCESTER MA 01604
34-012-40+23	TROIANO ELNAZ	0005 BENOIT ST	WORCESTER MA 01604
34-012-00016	GOLD STAR BUILDERS INC	0006 JACQUES ST	WORCESTER MA 01603
34-011-01+08	FERNANDEZ EMMANUEL D + RAFAEL D	0023 COUNTY ST	WORCESTER MA 01604
34-012-00039	SHAUGHNESSY MINDY JO	0055 PROGRESSIVE ST	WORCESTER MA 01604
34-012-0020B	KIHUNGI ANNE N	0080 PROGRESSIVE ST	WORCESTER MA 01604
34-011-00017	CHANTY REALTY TRUST	800 GRAFTON ST	WORCESTER MA 01604
34-011-016-1	GIGUERE KIMBERLY	0021 PROGRESSIVE ST	WORCESTER MA 01604
34-011-00013	JEFFREY KIA M + KENNEDY	032R PROGRESSIVE ST	WORCESTER MA 01604
34-011-0017A	PALDINO DOMENIC TRUSTEE	800 GRAFTON ST	WORCESTER MA 01604
34-011-0016A	KAZUKIEWICZ DAVID	0031 PROGRESSIVE ST	WORCESTER MA 01604
34-011-0012R	WELCH KENG	0044 PROGRESSIVE ST	WORCESTER MA 01604
34-012-00035	GOLD STAR BUILDERS INC	0006 JACQUES ST	WORCESTER MA 01603
34-011-00026	WORCESTER AFFORDABLE HOUSING LLC	0006 JACQUES ST	WORCESTER MA 01603
34-012-00006	ORTEZ ELVIN +	0035 COUNTY ST	WORCESTER MA 01604
34-012-00036	CELLA MELANIE	0369 SPRING ST	WRENTHAM MA 02093
34-012-006-5	SINGH LALLCHAND +	0037 COUNTY ST	WORCESTER MA 01603
34-011-0012L	HANSON NAANA	0046 PROGRESSIVE ST	WORCESTER MA 01604
34-012-15+38	WALIA JAGJIT + MONIKA TRUSTEES	0016 QUAIL HOLLOW DR	SHREWSBURY MA 01545
34-012-00027	RICHARDS KATHERINE J +	0024 COUNTY ST	WORCESTER MA 01604
34-012-00030	GOLD STAR BUILDERS INC	0006 JACQUES ST	WORCESTER MA 01603
34-012-14B-2	AMOAH BENNETT N A	0026 LACHAPPELLE ST	WORCESTER MA 01604
34-012-0008B	COREY NEIL D +	0029 COUNTY STREET	WORCESTER MA 01604
34-012-7A+21	PROKOPIUK KRYSZYNA +	0062 PROGRESSIVE ST	WORCESTER MA 01604
34-012-06A-1	COVELLO DAVID F + SAIYOOD	0031 COUNTY ST	WORCESTER MA 01610
34-012-00026	LUCK SEAN	0028 COUNTY ST	WORCESTER MA 01604
34-012-00007	SROCZYNSKI JOAN M	70 PROGRESSIVE ST	WORCESTER MA 01604
34-012-14B-1	MANNA STEPHEN P +	0024 LACHAPPELLE ST	WORCESTER MA 01604
34-012-00028	WIGHTMAN PAMELA A	0075 PROGRESSIVE ST	WORCESTER MA 01604
34-012-0020A	JARDINE FRANK + MARY	0078 PROGRESSIVE ST	WORCESTER MA 01604
34-012-0028A	WOSE XIRAO	0077 PROGRESSIVE ST	WORCESTER MA 01604
34-012-5A+5B	KIRBY JOHN V + LAURIE J	0082 PROGRESSIVE ST	WORCESTER MA 01604
34-012-00009	GONZALEZ JEANETTE	0058 PROGRESSIVE ST	WORCESTER MA 01604
34-012-00022	HUGHES STEPHEN +	0060 PROGRESSIVE ST	WORCESTER MA 01604
34-012-00008	FREEDOM MORTGAGE CORPORATION	10500 KINCAID DR	FISHERS IN 46037
34-012-0001L	MULHALL AMANDA	0006 BENOIT ST	WORCESTER MA 01604
34-012-0001R	YEBOAH-PELLETIER MONICA AYANE +	0004 BENOIT ST	WORCESTER MA 01604
34-012-13B-2	JAKLITSCH ZOIE	0071 PROGRESSIVE ST	WORCESTER MA 01604
34-012-00037	WEISSMAN ELIZABETH K TRUSTEE	0011 BENOIT ST	WORCESTER MA 01604
34-012-00013	DEAN DENNIS	0139 PRESCOTT ST	WEST BOYLSTON MA 01583

The City of Worcester
Administration & Finance

34-012-14A2R	AMPONSAH JULIANA +	0003 KELLEHER ST	WORCESTER MA 01603
34-012-14A3L	KANTANKA KWABENA S +	0005 KELLEHER ST	WORCESTER MA 01604
34-012-14A3R	ADEJI RICHARD + CHRISTIANA ODURO	0007 KELLEHER ST	WORCESTER MA 01604
34-012-0013B	CHEN JOHN MATTHEW SOLITRO DONGXIAO	0069 PROGRESSIVE ST	WORCESTER MA 01604

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 34-012-00030 as cited above.

Certified by:



Signature

03/06/2024

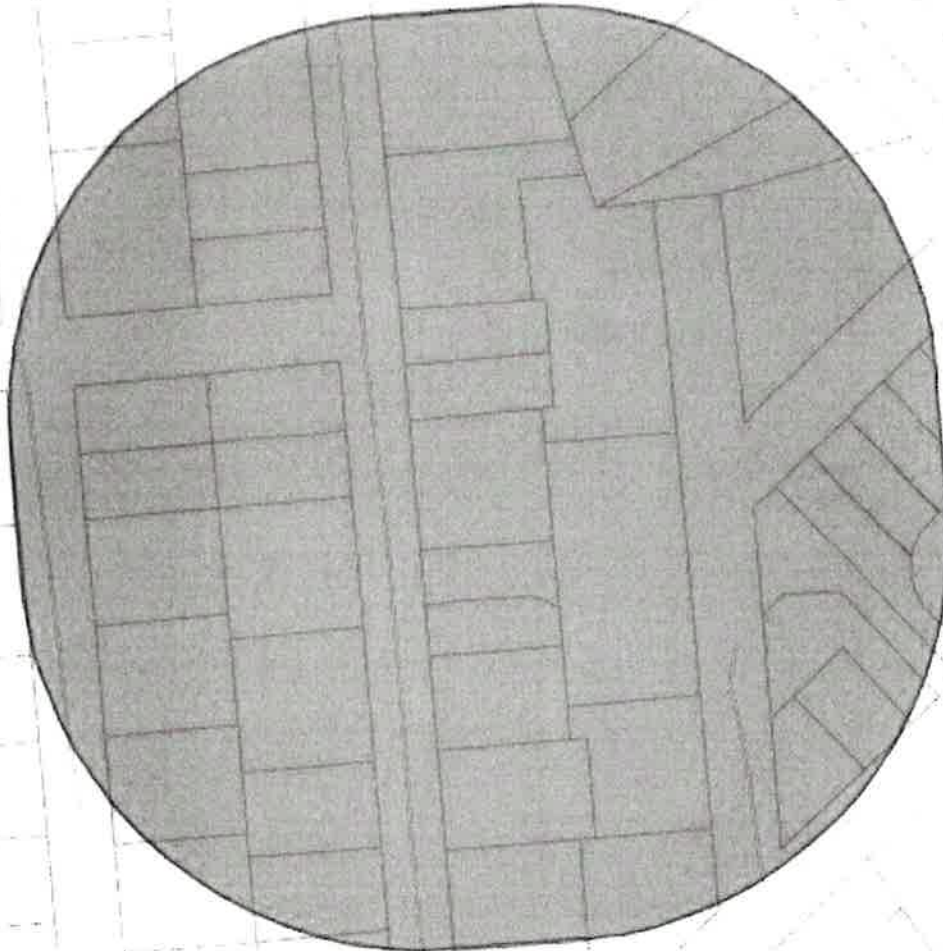
Date



The City of
WORCESTER

Assessing Division
Samuel E. Konieczny, MAA, City Assessor
City Hall, 455 Main Street, Worcester, MA 01608
P | 508-799-1098 F | 508-799-1021
assessing@worcesterma.gov

Abutters Map





PROGRESSIVE STREET MULTI-FAMILY

SPECIAL USE PERMIT
 AM 34, BLOCK 12, PARCEL 30
 61 PROGRESSIVE STREET
 WORCESTER, MASSACHUSETTS

FINISHED LEVEL
 FINISHED STREET LEVEL
 FINISHED GRADE

SITE LAYOUT & LANDSCAPE PLAN
C-2.0
 2109.00

ZONING ORDINANCE REQUIREMENTS

USE: SINGLE FAMILY ATTACHED (ALLOWED BY SPECIAL PERMIT)

REQUIRED	LOT A	LOT B	LOT C
GF AREA (SQUARE FEET) 3000 SF (MIN)	3000	1872 SF	2682 SF
GF AREA (SQUARE FEET) 3000 SF (MAX)	3000	1872 SF	2682 SF
MINIMUM FRONT YARD SETBACK (FEET)	20	20	20
MINIMUM SIDE YARD SETBACK (FEET)	5	5	5
MINIMUM REAR YARD SETBACK (FEET)	5	5	5
MINIMUM FRONT SETBACK FROM LOT LINE (FEET)	5	5	5
MINIMUM SIDE SETBACK FROM LOT LINE (FEET)	5	5	5
MINIMUM REAR SETBACK FROM LOT LINE (FEET)	5	5	5
MINIMUM FRONT SETBACK FROM STREET (FEET)	5	5	5
MINIMUM SIDE SETBACK FROM STREET (FEET)	5	5	5
MINIMUM REAR SETBACK FROM STREET (FEET)	5	5	5
MINIMUM FRONT SETBACK FROM ADJACENT LOT (FEET)	5	5	5
MINIMUM SIDE SETBACK FROM ADJACENT LOT (FEET)	5	5	5
MINIMUM REAR SETBACK FROM ADJACENT LOT (FEET)	5	5	5
MINIMUM FRONT SETBACK FROM ADJACENT STREET (FEET)	5	5	5
MINIMUM SIDE SETBACK FROM ADJACENT STREET (FEET)	5	5	5
MINIMUM REAR SETBACK FROM ADJACENT STREET (FEET)	5	5	5
MINIMUM FRONT SETBACK FROM ADJACENT LOT (FEET)	5	5	5
MINIMUM SIDE SETBACK FROM ADJACENT LOT (FEET)	5	5	5
MINIMUM REAR SETBACK FROM ADJACENT LOT (FEET)	5	5	5
MINIMUM FRONT SETBACK FROM ADJACENT STREET (FEET)	5	5	5
MINIMUM SIDE SETBACK FROM ADJACENT STREET (FEET)	5	5	5
MINIMUM REAR SETBACK FROM ADJACENT STREET (FEET)	5	5	5

NOTE: ALL LANDSCAPING MATERIALS TO BE PLANTED ON SITE SHALL BE ASIAN LOVEDORNED BEETLE RESISTANT SPECIES.

MA STATE PLANT CONTROL SYSTEM
 MAPLEWOOD ZONE - MAP 83

SITE LANDSCAPING LEGEND

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
1	8	CONULDA ANOXA	KOZUEA DOGWOOD	1" CALIBER
2	8	BILOBA CAMARINENSIS	EASTERN HEMLOCK	1" CALIBER
3	10	BIROSTRATA JAVANICA	AMERICAN ARBORVITAE	1" CALIBER
4	10	BIROSTRATA JAVANICA	AMERICAN ARBORVITAE	1" CALIBER

PARKING SPACE REQUIREMENT

TYPE OF PARKING SPACE	NUMBER OF PARKING SPACES REQUIRED
STREET SIDE PARKING	10
REAR YARD PARKING	10
TOTAL	20

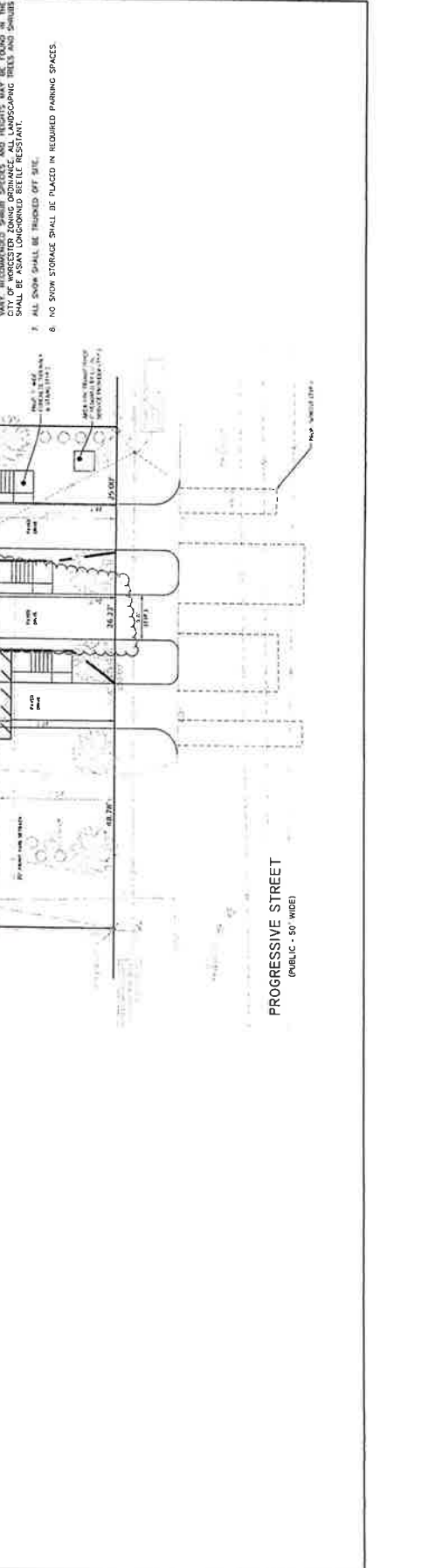
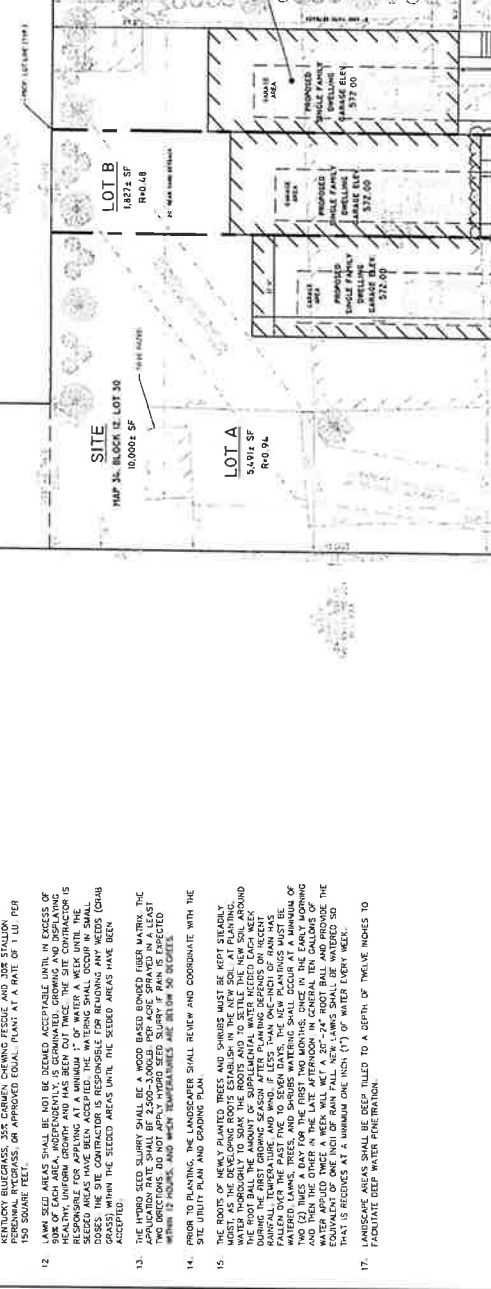
PARKING SUMMARY TABLE

TYPE OF PARKING SPACE	NUMBER OF PARKING SPACES PROVIDED	NUMBER OF PARKING SPACES REQUIRED
STREET SIDE PARKING	10	10
REAR YARD PARKING	10	10
TOTAL	20	20

- LANDSCAPING NOTES**
- NOTIFY DIG-SAFE AT 888-368-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE CONSTRUCTION OR CONSTRUCTION.
 - THE SITE SHALL BE MAINTAINED AND KEPT OPEN TO THE PUBLIC IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACT" SHOWING. ALL PLANTS SHALL BE GALLED AND BURL-APPED OR CONTAINER GROWN.
 - ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWN. THEY SHALL HAVE A WELL DEVELOPED ROOT SYSTEM AND A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
 - THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS TO BE FREE OF INSECTS AND DISEASE. ALL PLANTS SHALL BE GALLED, BURL-APPED AND IN ALL RESPECTS TO BE SHIRREL FREE.
 - ALL CONTAINERS SHALL HAVE DRAINAGE HOLES AND SECONDARY NETS.
 - WHERE SPECIES OR SIZE IS TO BE THE GROWING FACTOR IN THE SELECTION, CALIPER SIZE SHALL BE MEASURED 1/2" ABOVE THE ROOTBALL.
 - PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE DESIGNER, AND BLENDED INTO EXISTING GRADE, AND CONDITIONS.
 - ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE, AND CONDITIONS.
 - LAWN SEED MIX SHALL BE THE PREVIOUS YEARS COMP. 10% FERTILIZER. PERMANENT TURFGRASS, OR APPROVED EQUAL, PLANT AT A RATE OF 1 LB PER 150 SQUARE FEET.
 - LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 95% COVERAGE. THE SEEDING SHALL BE DONE IN A HEALTHY, UNIFORM GROUND AND HAS BEEN OUT THICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE GRASS HAS ESTABLISHED. THE SITE CONTRACTOR IS RESPONSIBLE FOR REWINDING ANY NEEDS (GIRTS GRASS) WITHIN THE SEED AREAS UNTIL THE SEED AREAS HAVE BEEN ACCEPTED.
 - THE HYBRID SEED SLURRY SHALL BE A WOOD BASED BONDING FIBER MATRIX. THE SEEDING SHALL BE DONE IN A HEALTHY, UNIFORM GROUND AND HAS BEEN OUT THICE. TWO DECISIONS DO NOT APPLY HYBRID SEED SLURRY IF RAIN IS EXPECTED WITHIN 2 HOURS, AND WIND TEMPERATURES ARE BELOW 50 DEGREES.
 - PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
 - THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STABLE. WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALLS. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK RAINFALL, TEMPERATURE AND WIND, IF LESS THAN ONE-INCH OF RAIN HAS FALLEN, WATER TREES AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO MONTHS, ONCE IN THE EARLY MORNING AND ONCE IN THE EARLY EVENING. WATER SHALL BE APPLIED AT THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
 - LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

PLAN NOTES

- SEE SHEET C-1-D FOR EXISTING CONDITIONS PLAN NOTES AND PLAN LEADER.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING PAVEMENT SHALL BE SAWCUT PRIOR TO REMOVAL.
- ALL EXISTING PAVEMENT, CURBS, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, ETC. SHALL BE REMOVED FROM THE AREAS TO BE DEVELOPED. ALL SUCH ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
- ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEED.
- WATER AND ELECTRIC SERVICE TO BE COORDINATED WITH LOCAL SERVICE PROVIDERS FOR AVAILABILITY AND UTILITY COORDINATION WITHIN THE PROPOSED SITE.
- ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS THROUGHOUT THE CONSTRUCTION PERIOD. COORDINATE WITH THE OTHER POLICE AND FIRE DEPARTMENTS ACCORDINGLY.
- DIMENSIONS SHOWN ARE TO THE FACE OF THE CURB/GUTTER LINE OR THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT, DIMENSIONS, ELEVATIONS AND STAIR CONFIGURATIONS.
- THE PROPOSED DRIVEWAY AND PARKING LOT AREA FOR THE BUILDING SHALL BE DETAIL WITH BUSINESS CONCRETE. SEE DETAIL SHEETS FOR PARKING DETAIL.
- THE PROPOSED GRADING SHALL BE 4" BEDDING OVER SUBGRADE.
- PROPOSED PLANTING FOR THE SITE SHALL CONFORM TO A NURSERY OF TREES AND SHRUBS PLANTED SHALL CONFORM TO THE LANDSCAPING SECTION. TREES AT LEAST 10' CALIBER. TREES TO BE PLANTED 15' SPACES ALONG THE CURB. RECOMMENDED TREE SPECIES MAY BE FOUND IN THE CITY OF WORCESTER, MASSACHUSETTS, LANDSCAPING ARTS. SHRUBS MAY BE DECIDUOUS OR EVERGREEN. TREES AND SHRUBS SHALL BE PLANTED IN GROUPS TO PROVIDE A NATURAL APPEARANCE WITHIN 3 YEARS. SMALL TREES SHALL BE PLANTED IN GROUPS OF THREE. TREES AND SHRUBS SHALL BE PLANTED IN GROUPS OF THREE. TREES AND SHRUBS SHALL BE PLANTED IN GROUPS OF THREE.
- ALL SNOW SHALL BE TRUCKED OFF SITE.
- NO SNOW STORAGE SHALL BE PLACED IN REQUIRED PARKING SPACES.



NO.	DATE	REVISIONS
1	08/01/2024	ISSUE FOR PERMIT

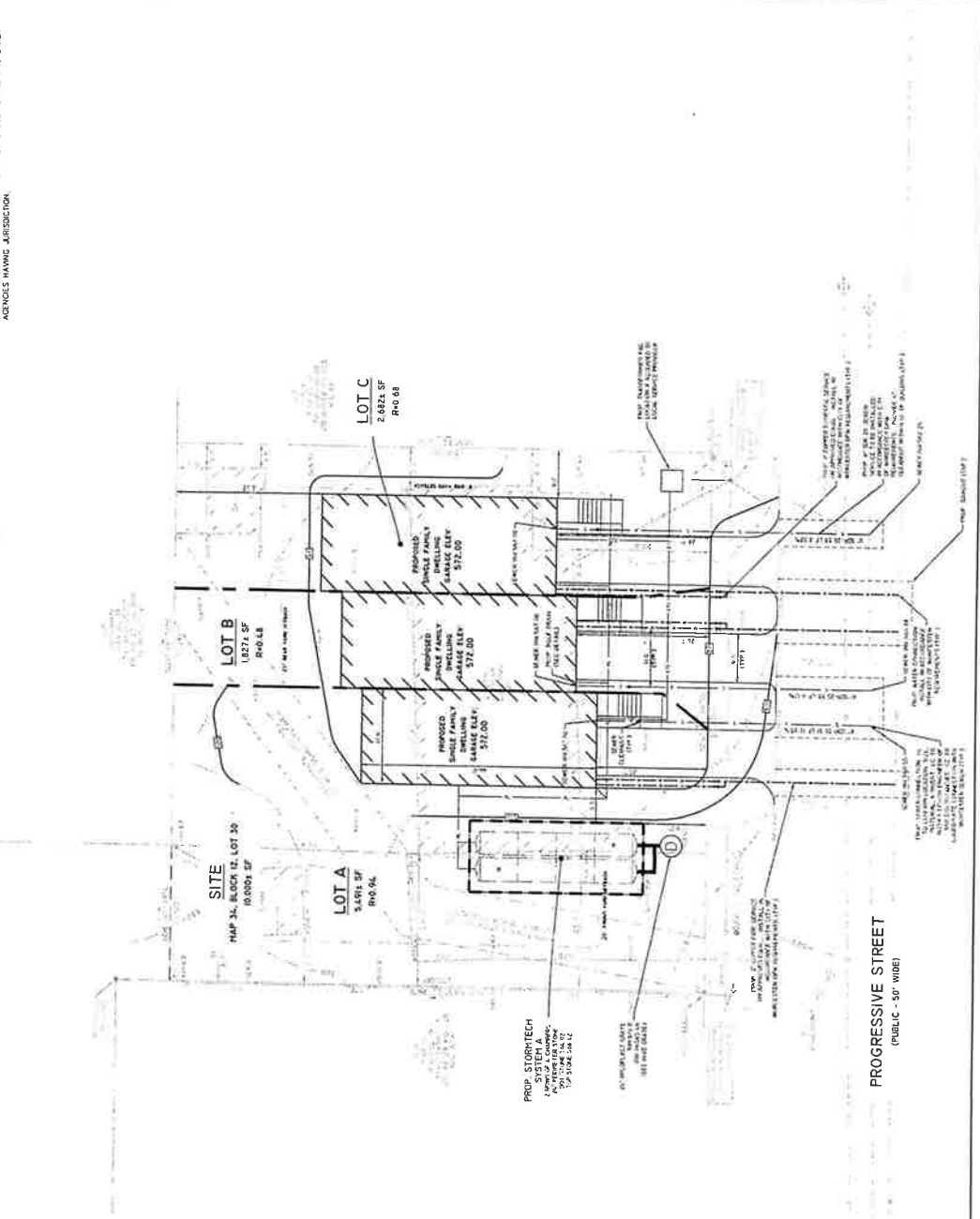


PROGRESSIVE STREET MULTI-FAMILY
 SPECIAL USE PERMIT
 AM 34, BLOCK 12, PARCEL 30
 WORCESTER, MASSACHUSETTS

LEVEL
 PROGRESSIVE STREET, LOT 1
 PROGRESSIVE STREET, LOT 2
 PROGRESSIVE STREET, LOT 3

GRADING & UTILITY PLAN
C-3-0
 SCALE: 1" = 10'-0"
2109.00

- PLAN NOTES:**
1. SET SHEET C-1.0 FOR EXISTING CONDITIONS PLAN NOTES AND PLAN LEGEND
 2. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
 3. ALL EXISTING PAVEMENT SHALL BE SMOOTH PRIOR TO REMOVAL.
 4. ALL EXISTING PAVEMENT, CURB, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, AND LANDSCAPE SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION. ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
 5. ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE DOWMED AND SEECED.
 6. WATER AND ELECTRIC SERVICES TO BE COORDINATED WITH LOCAL SERVICE PROVIDERS FOR AVAILABILITY AND UTILITY CONFIGURATION WITHIN THE PROPOSED SITE.
 7. ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND FEDERAL REGULATIONS AND ORDINANCES, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.



- GRADING NOTES:**
1. ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE REFERENCED TO MASS MAIN LAND MADD3 DATUM.
 2. ALL UTILITY GRATES, GROUND OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE TYPED WITH THE ADJACENT FINISHED GRADE, AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL CODES.
 3. PROPOSED GRADING SHALL BE BASED ON RECORDS OF EXISTING GRADE, DRAINAGE, AND UTILITY LOCATIONS. EXISTING GRADE SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 4. ALL PROPOSED GRADING SHALL BE PROTECTED AS SHOWN ON THE DRAWINGS IF NOT OTHERWISE SHOWN. PROPOSED PAVEMENT AREAS SHALL BE PROTECTED AT A MINIMUM OF 18" (1/2" PER FOOT) TO PREVENT POSITIVE DRAINAGE.
 5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
 6. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT. ALL GRADING AREAS ARE TO BE SLOPED TO THE PAVEMENT SURFACE ARE TO BE DRAINAGE CLEARED AND BANKED.
 7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION.

- UTILITY NOTES:**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
 3. ALL UTILITY SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER EXCEPT AS NOTED OTHERWISE. WATER LINES SHALL BE INSTALLED IN AREAS WHERE THERE IS LESS THAN 4 FEET OF COVER.
 4. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL CONFORM TO THE CITY OF WORCESTER REQUIREMENTS.
 5. PRESSURE AND LEAKAGE TESTING, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH THE CITY OF WORCESTER REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION.
 6. THE PRIMARY WATER METER (AND BACKFLOW PREVENTER, IF REQUIRED) SHALL BE LOCATED AT THE POINT OF ENTRY TO THE BUILDING. THE WATER METER SHALL BE INSTALLED IN A CONCRETE PAD FOUNDATION. THE WATER METER SHALL BE INSTALLED IN A CONCRETE PAD FOUNDATION. THE WATER METER SHALL BE INSTALLED IN A CONCRETE PAD FOUNDATION. THE WATER METER SHALL BE INSTALLED IN A CONCRETE PAD FOUNDATION.
 7. A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
 8. WHERE SHARPLY BENT CROSS WATER MAINS, THE SERVICE SHALL BE LAGD AT EACH ANGLE. THE SERVICE SHALL BE LAGD AT EACH ANGLE. THE SERVICE SHALL BE LAGD AT EACH ANGLE. THE SERVICE SHALL BE LAGD AT EACH ANGLE.
 9. EACH LOCATION OF UTILITY STUBS FOR BUILDINGS CONNECTIONS SHALL BE VERIFIED WITH THE CITY OF WORCESTER. EACH LOCATION OF UTILITY STUBS FOR BUILDINGS CONNECTIONS SHALL BE VERIFIED WITH THE CITY OF WORCESTER. EACH LOCATION OF UTILITY STUBS FOR BUILDINGS CONNECTIONS SHALL BE VERIFIED WITH THE CITY OF WORCESTER.
 10. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF WORCESTER PRIOR TO BEING BACKFILLED. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF WORCESTER, MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION.
 12. ALL UNDERGROUND CONDITIONS SHALL BE INSTALLED WITH TRACER TAP.

PROGRESSIVE STREET
 (PUBLIC - 50' WIDE)

NEW CONSTRUCTION:
TRIPLEX HOUSE
ATTACHED
BLDG 3 UNITS
61 PROGRESSIVE ST.
WORCESTER, MA

COLSTAR BUILDERS INC
DESIGNER/CONTRACTOR

100 COLLEGE ST. WORCESTER, MA 01603
PHONE: 903-757-7444
EMAIL: COLSTARBUILDERS@GMAIL.COM

NO.	DATE	REVISION

FOUNDATION PLAN

SCALE: 3/4" = 1'-0"

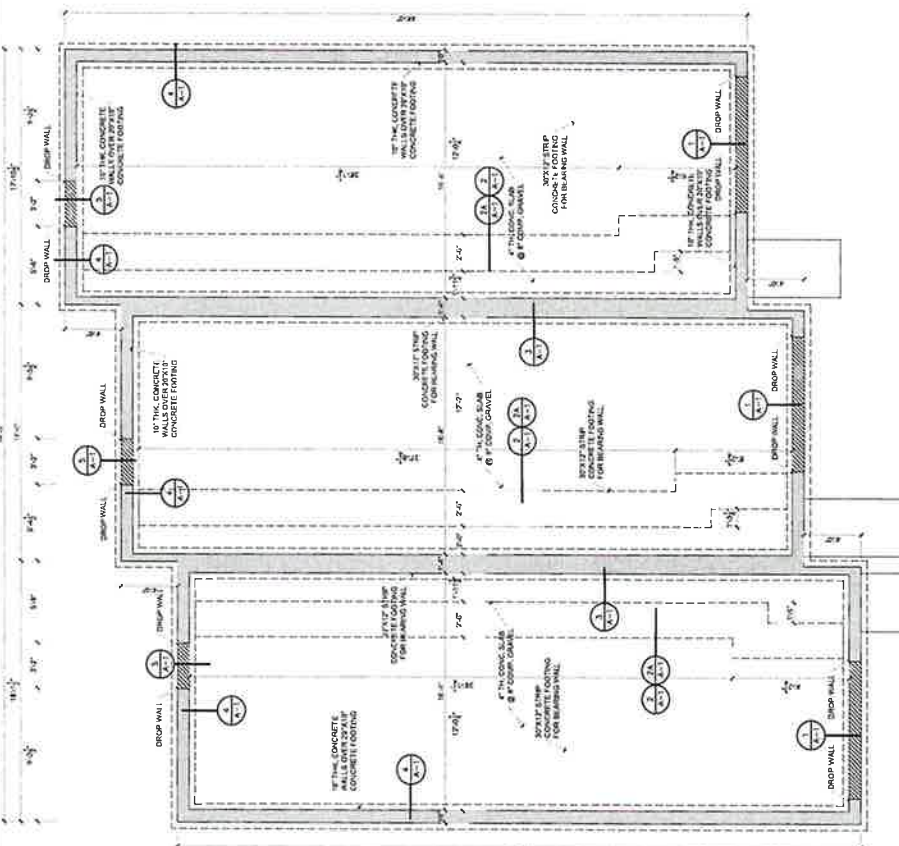
DATE: 03/11/10

PROJECT NO: 100003

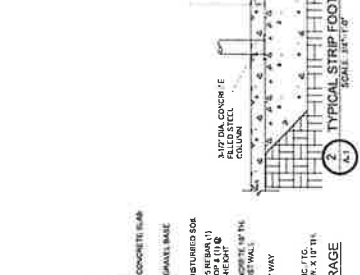
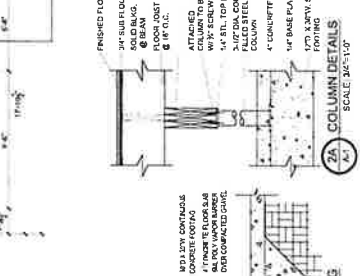
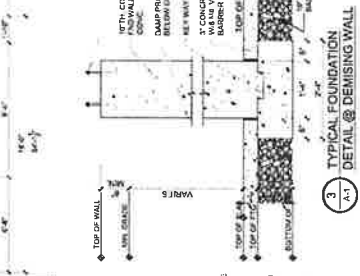
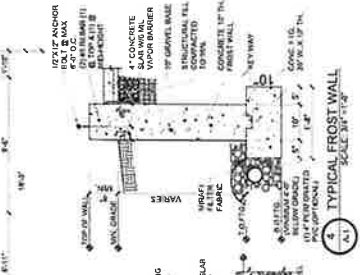
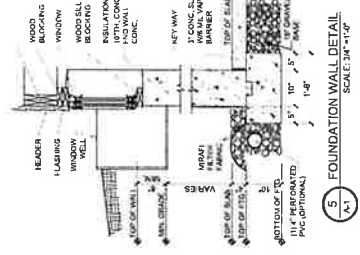
DESIGNER: COLSTAR BUILDERS INC

ARCHITECTURAL

A-1



FOUNDATION PLAN
SCALE: 3/4" = 1'-0"



- GENERAL NOTES**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND HUD 24.7 P.5.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
 4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODES) AND MUST BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
 5. SOIL REPORT SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL LOCAL REGULATIONS.
 6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING.
 7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL CODES.
 8. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL CODES.
 9. ALL COLUMNS OR SOLID FRAMING SHALL BE DESIGNED TO CARRY LOADS AND BE STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING.
 10. THE BASEMENT FLOOR ON A FINISHED LEVEL SHALL BE ALLOWED TO CARRY THE LOAD.

- GENERAL FRAMING NOTES**
- THE FOLLOWING NOTES ARE REQUESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH LOCAL REQUIREMENTS. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
1. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2x4 STUDS UNLESS OTHERWISE NOTED.
 2. ALL JOISTS AND BATTENS SHALL BE ALIGNED OVER STUDS BELOW.
 3. ALL FRAMED WALLS SHALL BE 1/2" WITH 1/2" PLYWOOD.
 4. FRAMES TO BE SET SQUARE TO FACE.
 5. FRAMES TO BE SET SQUARE TO FACE.
 6. FRAMES TO BE SET SQUARE TO FACE.
 7. FRAMES TO BE SET SQUARE TO FACE.
 8. FRAMES TO BE SET SQUARE TO FACE.
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 12. FRAMES TO BE SET SQUARE TO FACE.
 13. FRAMES TO BE SET SQUARE TO FACE.
 14. FRAMES TO BE SET SQUARE TO FACE.
 15. FRAMES TO BE SET SQUARE TO FACE.

PROJECT NAME:
 NEW CONSTRUCTION:
 TRIPLEX HOUSE
 ATTACHED
 BLDG 3 UNITS
 61 PROGRESSIVE ST.
 WORCESTER, MA

GOLDSTAR BUILDERS INC
 DESIGNER/CONTRACTOR

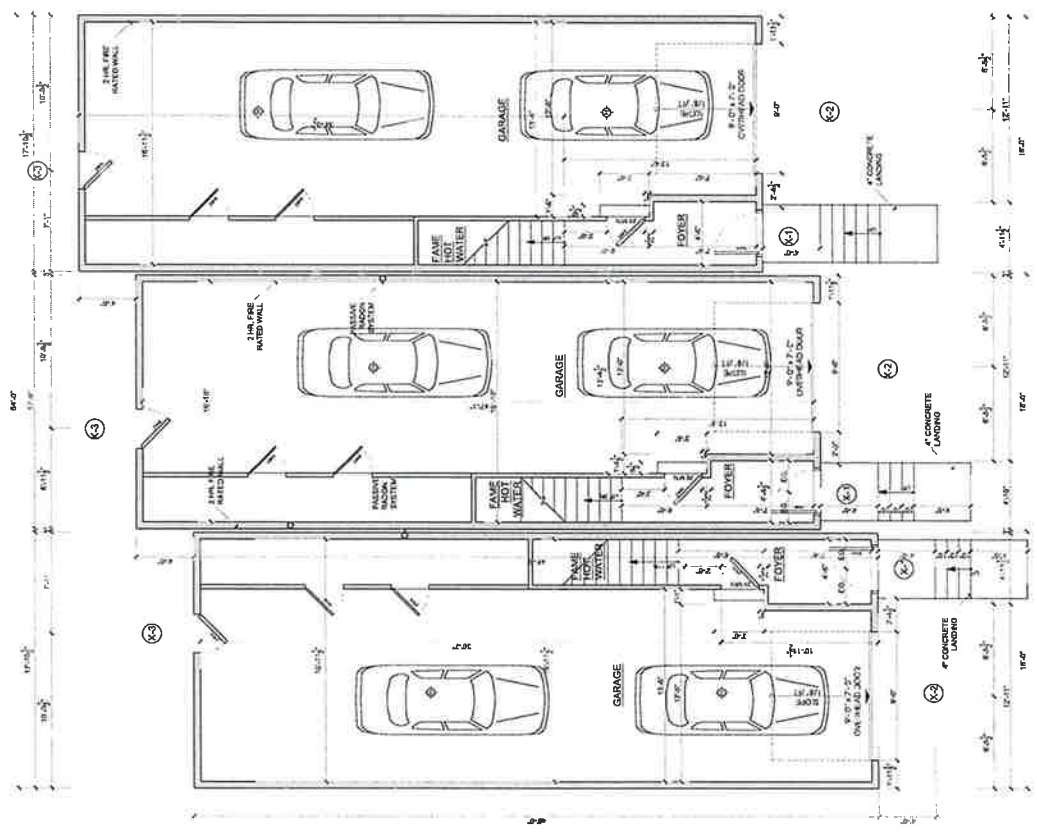
8 JACKSON ST. WORCESTER, MA 01603
 PHONE: 508-751-7444
 EMAIL: GOLDSTARBUILDERS@GMAIL.COM

NO.	DATE	REVISION

NO.	DATE	REVISION

DESIGNED BY:
 ARCHITECTURAL
 PROJECT NUMBER: 180717-1
 23-10
 LEO, ANDYEN
 AS NOTED
 12/10/2023
 DRAWN BY: LEO, ANDYEN

A-2



GROUND FLOOR PLAN
 1/4" = 1'-0"

PROJECT NAME
 NEW CONSTRUCTION:
 TRIPLEX HOUSE
 ATTACHED
 BLDG 3 UNITS
 61 PROGRESSIVE ST.
 WORCESTER, MA

GOLDSTAR BUILDERS INC
 DESIGNER/CONTRACTOR

ADDRESS: WORCESTER, MA 01603
 PHONE: 508-738-7341
 EMAIL: GOLDSTARBUILDERS@GMAIL.COM

NO.	DATE	REVISION

DESIGNER NAME
 ARCHITECTURAL
**FRONT &
 REAL
 ELEVATION**

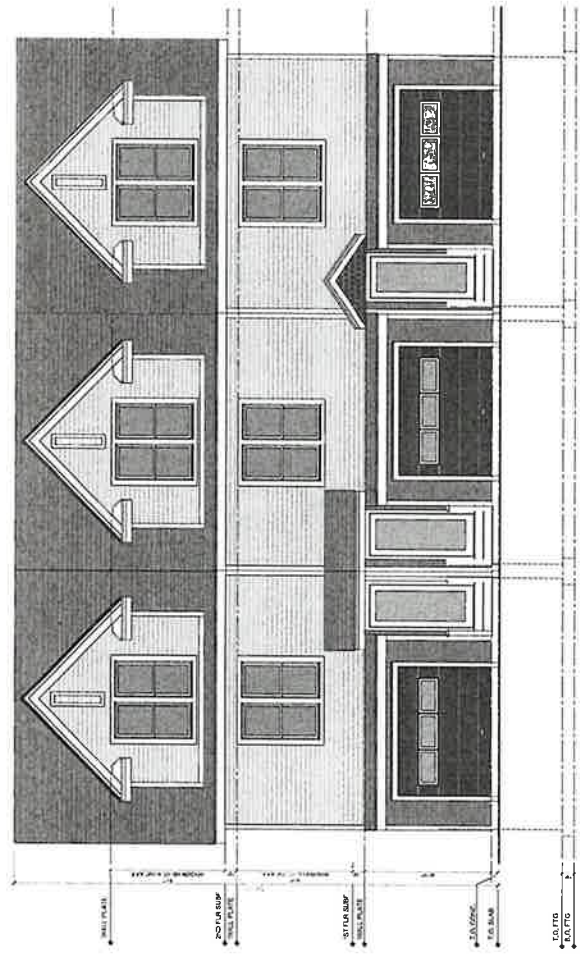
PROJECT NUMBER
 23-0

CLIENT NAME
 LEO MCGOWEN

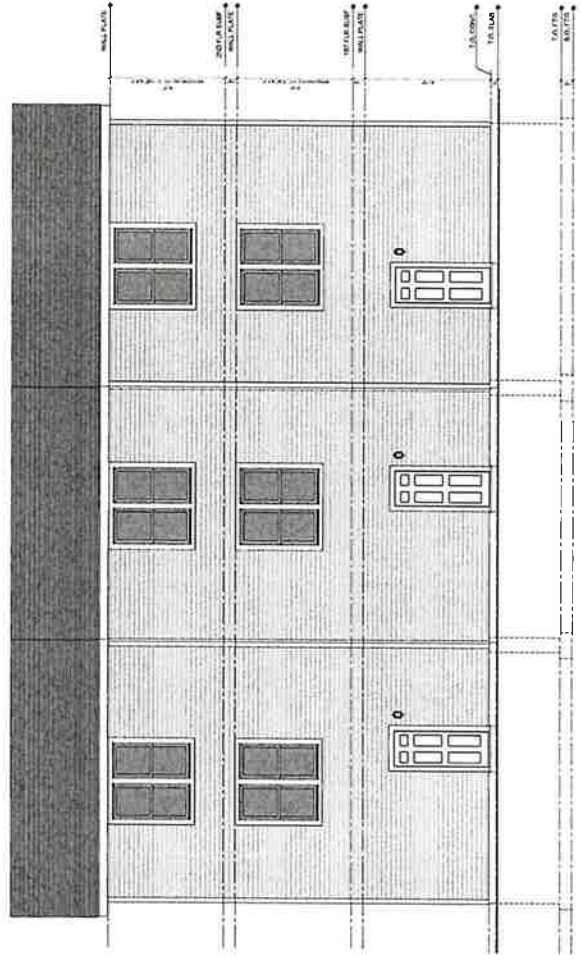
DATE
 05/13/2023

DRAWING NUMBER
 A-9

A-9



1 FRONT ELEVATION
 1/8" = 1'-0"



2 REAL ELEVATION
 1/8" = 1'-0"

PROJECT NAME:
 NEW CONSTRUCTION:
 TRIPLEX HOUSE
 ATTACHED
 BLDG 3 UNITS
 61 PROGRESSIVE ST.
 WORCESTER, MA

GOLDSTAR BUILDERS INC
 DESIGNER/ CONTRACTOR

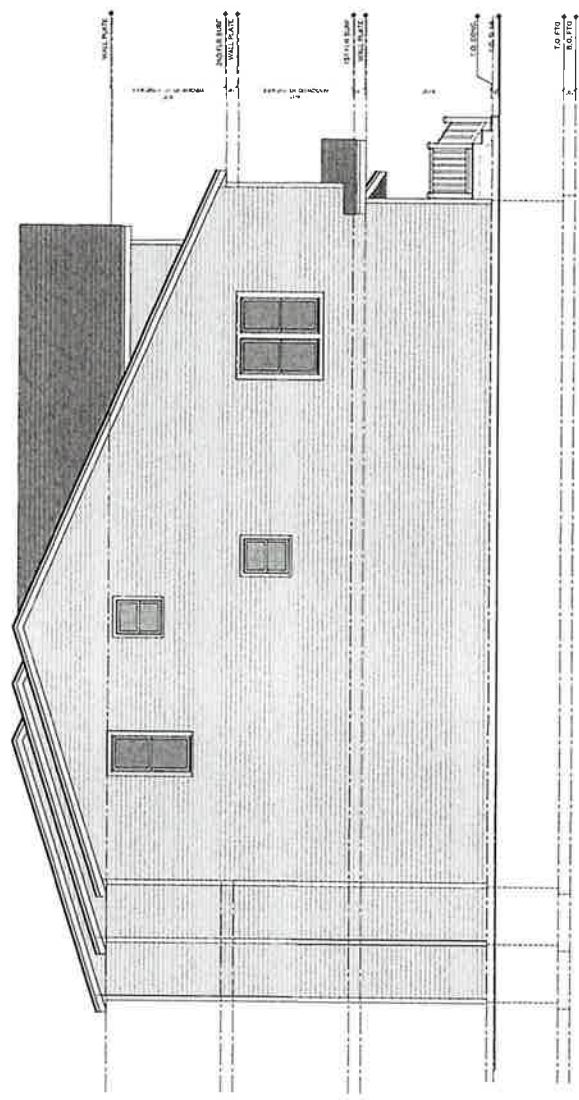
1000 WASHINGTON ST. WORCESTER MA 01602
 PHONE: 508-755-7944
 EMAIL: GOLDSTARBUILDERS@GMAIL.COM

NO.	DATE	REVISION

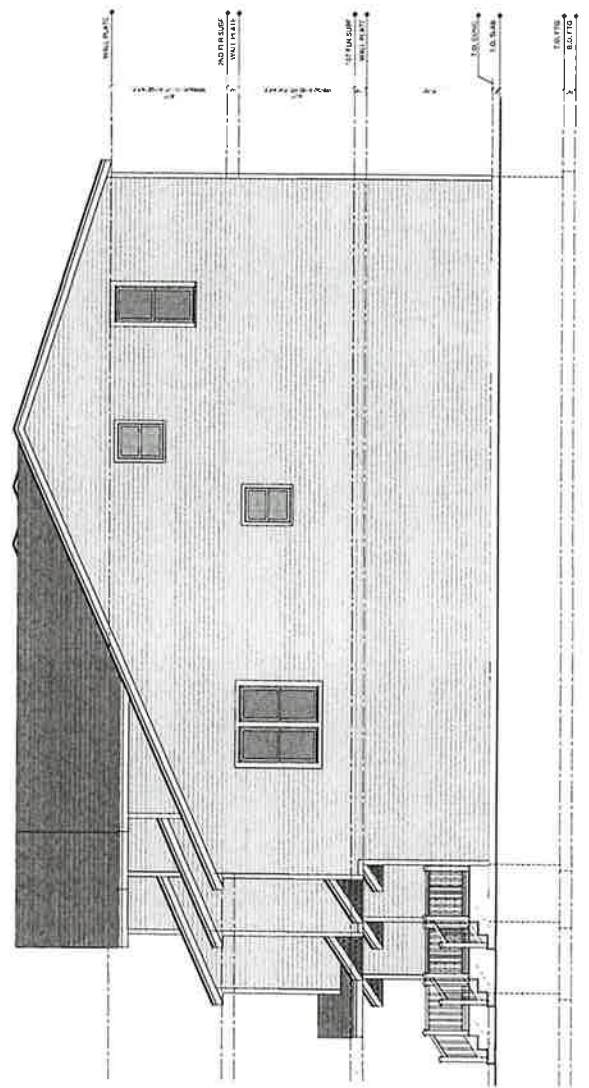
ARCHITECTURAL
 RIGHT & LEFT
 ELEVATION

PROJECT NUMBER	23-10	DATE	12/15/2023
DESIGNER	LOS NGUYEN	DATE	12/15/2023
SCALE	N/A	DATE	12/15/2023
DATE PLOTTED			

A-10



RIGHT ELEVATION
 1/4" = 1'-0"



LEFT ELEVATION
 1/4" = 1'-0"